

# Legal Basement Apartment Requirements

## City of Vaughan

Basement Apartment is a separate self-contained suite containing bathroom and kitchen facilities that is subordinate to a legally existing residential home. Basement Apartment is not a "Duplex" as per the [City of Vaughan](#) Zoning By-Laws.

Newly created basement apartments provide additional affordable rental apartments in the established neighbourhoods of the [City of Vaughan](#). Basement apartments provide the added income to make home ownership more affordable in the [City of Vaughan](#). Constructing a legal basement apartment is an economical and sustainable use of existing infrastructure and a remedy for urban sprawl in the [City of Vaughan](#). Construction of new basement apartments is already occurring throughout established urban neighbourhoods in the City of Vaughan.

Homeowners in the City of Vaughan renovate their homes to have a rental apartment in the basement to accommodate changing household needs and financial situations. Legal basement apartments in the City of Vaughan contribute to the health, vitality, and value of neighbourhoods, including improving property values.

Legalizing the basement apartment ensures that the basement apartment meet all required fire, building and housing standards including the Ontario Building Code, Ontario Fire Code and the municipal by-laws of the City of Vaughan. A legal and safe basement apartment will improve homeowner's relationship with tenants, neighbours and the City of Vaughan.

Basement apartments that are not legal, pose a fire risk and other safety concerns such as not enough building exits, fire separations between units, working smoke alarms, carbon monoxide detectors and illegal and unsafe electrical and plumbing connections.

On September 26, 2017, the City of Vaughan approved the Zoning By-law amendment - City of Vaughan Zoning By-law 103-2017 - to address all the concerns with basement apartments in the City of Vaughan.

As per the, the requirements to have a basement apartment as follows:

### **Eligible properties**

- Basement apartments are only allowed in specific single detached, semi-detached and street townhomes.

### **Lot characteristics**

- Only one basement apartment is allowed in each eligible house.
- The lot must have a minimum frontage of 9m (29ft-7in)
- A basement apartment may occupy up to 45% of the gross floor area (GFA) of the main dwelling.

### **Parking**

- At least three parking spaces are required on the lot to ensure sufficient parking is available to accommodate the main dwelling and the basement apartment. The parking spaces must be located on a properly surfaced driveway or garage or carport and cannot include parking on the street.

### **Entrance**

- A basement apartment must be accessed through a separate entrance on the side or rear wall or through a common indoor vestibule.
- An entrance to a basement apartment cannot be located on the same wall/façade as the entrance to the main dwelling.
- Be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2m(3ft-11in) in width, or a driveway;
- Not be located closer to the front lot line than the main entrance of the residential dwelling unit on the abutting lot
- Be setback a minimum of 1.2m(3ft-11in) from the interior side lot line, except where the minimum interior side yard setback requirement to an entrance is greater.

Basement apartments are not allowed:

- in an attached or detached garage.
- in another building on the property not attached to the house.
- in dwellings used for a bed and breakfast, home occupation, a private home tutor, a private home daycare or a group home.
- in the Woodbridge Special Policy Area.
- within a floodplain.

A building permit is required to create a basement apartment within an existing house in the City of Vaughan.

Requirements for a basement apartment in the City of Vaughan are based on the 2012 [Ontario Building Code](#) Part 9 as amended/updated and Part 11 if the house has been in existence for more than 5 years.

When applying for a building permit to have a legal basement apartment the following must be submitted:

- ✓ Application Form for a building permit to Construct a basement apartment (The City of Vaughan requires 3 weeks to review the application for the building permit)
- ✓ Building Permit fees required by the City of Vaughan: \$0.45 per sq.ft. of previously finished areas being modified, and unfinished areas being finished.
- ✓ Security Deposit of \$250 deposit (refundable upon final sign-off for the building permit by the City of Vaughan Building Inspector)
- ✓ Site plan drawn to scale showing the required parking spaces and all dimensions and location of existing buildings.

Required Stamped Engineering Drawings to obtain the Building permit

- ✓ Existing floor plans for all floors showing window/door sizes & locations, room names, stair location, wall locations & construction, etc (for all floors).
- ✓ Proposed floor plans showing new wall construction, fire separations (new and existing), new windows and doors, room names, plumbing locations for kitchen, bathrooms & laundry, ceiling heights (overall, under beams and ducts), etc.
- ✓ Elevations (applicable if adding egress windows/doors with glazing)

## Requirements of City of Vaughan Zoning By-law 108-18

- A basement apartment is permitted to be in a Detached house, Semi Detached or Linear Townhouse or in an accessory structure
- A maximum of 2 bedrooms is permitted within the basement apartment (any room with a door and closet is deemed a bedroom).
- The principle dwelling and secondary unit must be connected to municipal sewer and water services of adequate size (upgrading may be required). If on private water and sewer, proof must be provided to show that they are capable to accommodate the secondary unit, satisfactory to the City of Vaughan.

| <b><u>Fire Resistance Rating</u></b> | <b><u>&lt;5 years old</u></b> | <b><u>&gt;5 years old</u></b> |
|--------------------------------------|-------------------------------|-------------------------------|
| Floor Fire Separation                | 45min                         | 30min /15min                  |
| Wall Fire Separation                 | 45min                         | 30min                         |
| Supporting Structure                 |                               |                               |
| L.B. Walls, Beams & Columns          | 45min                         | 30min                         |

- Exiting to meet the requirements of the Ontario Building Code. If an exit is shared by the basement apartment, a larger egress window is required, and interconnected smoke alarms are required in every bedroom and common space throughout the entire house.
- An egress window is required in basement units containing a bedroom except for walk-out basement conditions, where direct access to exterior is provided to the basement apartment.
- A minimum ceiling height in existing basements of 6'-5" is required (including under beams and ducts) in the path of travel from all rooms to each exit.
- Smoke alarms are required in each new bedroom and ALL common areas on each floor. Smoke alarms are required to be interconnected (within unit or throughout entire building) with visual signaling.
- Carbon monoxide detectors are required on each floor serving a bedroom.
- If the basement apartment is sharing a furnace, a smoke duct detector is required to be installed in the supply or return air plenum which will shut off the furnace if smoke is detected.

- A furnace/boiler room not able to achieve a continuous fire separation is required to install a fire sprinkler system which is to be installed by a certified sprinkler installer. A backflow device and a 25mm water service upgrade may be required for the sprinkler system.
- Any doors between basement apartment and the main house must have a minimum 20 min fire protection rating with a self-closing device.
- All penetrations through fire separations are required to be fire stopped with an approved fire stop device. Existing penetrations are acceptable in existing fire separations.
- The basement apartment is required to have a Kitchen, Living Room, Dining Room, Bathroom and a Bedroom. These areas can be used separate or as combined spaces.

#### **Individual Room Area**

#### **Minimum Area Required**

|                                                                         |                       |
|-------------------------------------------------------------------------|-----------------------|
| Living Room                                                             | 145sq.ft. (13.5sq.m.) |
| Dining Room                                                             | 75sq.ft. (7.0sq.m.)   |
| Kitchen (1 bedroom)                                                     | 40sq.ft. (3.7sq.m.)   |
| Kitchen (2 bedrooms)                                                    | 45sq.ft. (4.2sq.m.)   |
| Master Bedroom (closets)                                                | 95sq.ft. (8.8sq.m.)   |
| Master Bedroom (no closets)                                             | 105sq.ft. (9.8sq.m.)  |
| Second Bedroom (closets)                                                | 65sq.ft. (6.0sq.m.)   |
| Second Bedroom (no closets)                                             | 75sq.ft. (7sq.m.)     |
| Bathroom sufficient size to accommodate toilet, sink, bathtub or shower |                       |

#### **Combo Room Area**

#### **Minimum Area Required**

|                                     |                        |
|-------------------------------------|------------------------|
| Bachelor Unit                       |                        |
| (Living, Dining, Bedroom, Kitchen)  | 145sq.ft. (13.5sq.m.)  |
| Living, Dining (1 bedroom)          | 153sq.ft. (14.25sq.m.) |
| Living, Dining, Kitchen (1 bedroom) | 193sq.ft. (17.95sq.m.) |
| Living, Dining (2 bedroom)          | 180sq.ft. (16.75sq.m.) |

Living, Dining, Kitchen (2 bedroom) 226sq.ft. (20.95sq.m.)

### **Natural Lighting**

### **Minimum Window Sizes**

#### **Rooms**

#### **< 5 Years Old**

#### **> 5 Years Old**

Living and Dining Room

10%

5%

Bedrooms and Other Finished Rooms

5%

2.5%

Kitchen, Washrooms, Laundry and

Basement Rec room

0%

0

### **Door Uses**

### **Minimum Size Required**

Entrances and Utility Rooms

32" x 78"

Bathroom, Washroom, and Closets

24" x 78"

Bedrooms and Rooms not mentioned

30" x 78"

- A space for laundry facilities are to be provided within the basement apartment or must be available in a conveniently accessible common space.
- An exterior light is required at the separate exterior entrance into a basement apartment
- Lighting is required for all stairs with 3-way switches.
- If a separate basement side entrance is proposed, check with the municipal zoning plans examiner to determine whether the separate basement side entrance is permitted in the location proposed on the property.

### **Separate Entrance to the Basement**

To legalize a separate basement side entrance typically the following drawings and plans are required.

- Legal Survey

- Existing and proposed construction details including foundation & exterior wall drawings, location and size of basement separate side entrance, stair and landing dimensions, drain location, locations of proposed underpinning, locations of any support columns, and structural framing above, detail drawings of separate side entrance stair construction, location and size of separate side entrance door, size of lintel(s) required over the separate side entrance door, location of exterior side entrance light and light switch, stages of proposed underpinning, numbered to show sequence of work and distance to foundations of adjacent buildings, including depth of the basement footings of the adjacent building.
- Detail drawings of any drain connection to storm sewer, or sump pit.

Basement foundation walls with new openings wider than 3'11" or walls having openings more than 25% of its length shall be considered laterally unsupported and may require a Professional Engineer's review

Where the depth of the basement separate side entrance causes the existing foundation to have less than typical 4 ft of frost coverage the basement foundation must be extended to provide the required minimum 4 ft of frost protection. Where the proposed underpinned foundation is to be constructed below the level of the basement footings of the adjacent building and within the angle of repose of the soil, the underpinning and related construction must be designed by a Professional Engineer. The moisture in the soil freezes during the winter and cause frost upheaval.

The level of frost penetration and the amount of moisture in the soil (from poor grading and high groundwater table) determine the amount of frost pressure.

To avoid the 4ft depth of excavation excavate to the bottom of the existing basement footing to provide frost protection, required frost protection could be attained by excavating 1ft below the walkout grade, installing vertical insulation against the basement footing, extending insulation horizontally for a length equal to the frost depth (Typically 4 ft) away from the bottom of the footing, overlapping the insulation at the horizontal and vertical transition and sloping the insulation away from the basement foundation for heat retention under the footing and proper drainage away from the footings.

Adequate insulation should be used to retain the heat immediately adjacent to the footing, which comes from the heat flowing from inside of the house to the soil beneath and beside the footing; and geothermal heat from the deep soil—heat stored in the earth below the frost level. Heat loss at corners is most pronounced because it occurs in two directions.

Horizontal insulation installed in “wings” sloping outward, around the perimeter of the slab, extends the heat flow path; controls heat loss; and moves the line of frost penetration away from the footing.

Adequate measures must also be taken to avoid damage to the insulation during construction. While in warmer parts of Ontario, only a 4 ft (1.2 m) wing will be required; in more severe climates, the width of the wing might need to extend out 6 ft (1.8 m) from the foundation perimeter. Use Expanded Polystyrene Type II or III, or Extruded Polystyrene Type IV insulation. The perimeter drainage should be extended out around the walkout and reconnected at both ends. Ensure perforated drainpipe remains 6 inches above weeping tiles with gravel in between to act as a filter for the weepers.

### **Removal of Load Bearing Walls**

Removal or opening load bearing walls compromise the structural integrity of the walls and floors since uniform distributed loading is replaced with two point loads due to the removal or opening of load bearing wall. Also, two new point loads on the floor caused by the removal or opening of load bearing wall require additional proper support underneath the floor.

If plumbing, electrical and HVAC duct located in the load bearing wall, the plumbing, electrical and HVAC duct located in the load bearing wall should be modified and relocated.

Relocation of plumbing, electrical and HVAC duct located in the load bearing wall may sometimes results in alterations to the interior ceilings and walls including undesirable bulkheads.

Stamped Engineering Drawing Requirements for a Building Permit Application to Remove a Load Bearing Wall

- Structural Engineer stamped point load calculation including how the load will be transferred from the floor where the wall is being removed to the floor below.
- Plan view (For the floor level where the wall is being removed)
- Direction of the existing floor joists span
- New beam sizes and supports
- Distance measured from the new beam to the next wall or beam that is supporting the floor joists (for each side of the beam)
- Plan view (For all floor levels above and below the floor where the wall is being removed)
- Direction of the existing floor joists span
- All existing beams below the new posts from above and their sizes and post locations
- Distance measured from the existing beam to the next wall or beam that is supporting the floor joists (for each side of the beam)

**We will visit your basement apartment, measure and prepare proper drawings and plans to obtain the municipal building permit to construct or legalize your basement apartment. The required engineering drawings to obtain building permit to construct or legalize a basement apartment are prepared by licensed professional engineers (P.Eng) and will cost \$1,895<sup>+HST</sup>.**

**The required engineering drawings and plans to obtain building permit to construct or legalize a separate entrance to the basement apartment, will cost \$1,595<sup>+HST</sup>. \$500 discount will apply if we prepare the drawings to legalize the basement apartment at the same site.**

**The required engineering drawings and plans to obtain building permit to remove a load bearing wall, will cost \$1,295<sup>+HST</sup>. \$500 discount will apply if we prepare the drawings to legalize the basement apartment at the same site.**

**If required by the Municipal Authorities, HVAC Heat Loss/ Gain and Duct Sizing Calculations by a Licensed Professional Mechanical Engineer will cost additional \$750<sup>+HST</sup>.**

# **Land & Building Experts**

**Professional Engineers Ontario**

***Certificate of Authorization # 100205934***

***6-570 Alden Road, Markham, ON L3R 8N5***

**647 340 8649 – Land Line – Call 24/7**

**416 727 8336 (Text Messages)**



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# SECONDARY SUITES: AN INFORMATION GUIDE FOR HOMEOWNERS

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# WELCOME

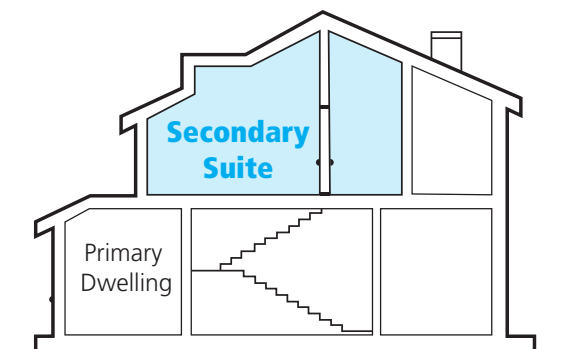
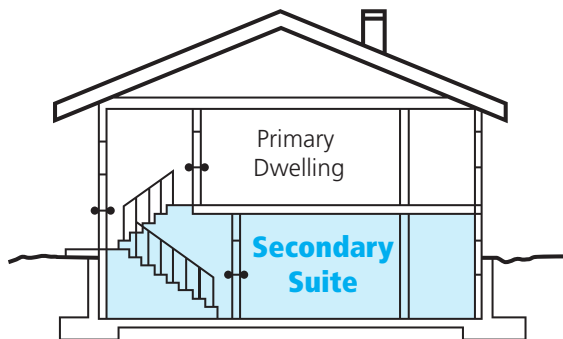
As part of creating affordable housing options, the City of Vaughan introduced regulations for secondary suites. The regulations seek to protect the safety and well-being of all Vaughan citizens while maintaining the existing community's character. Secondary suites can provide an affordable housing option for a variety of persons such as singles, students, seniors, extended family members and others.

## WHAT IS A SECONDARY SUITE?

A secondary suite is a self-contained unit within a house that has its own kitchen, bathroom facilities and separate entrance.

Secondary suites can be a viable housing option provided the units are constructed safely.

Examples of a secondary suite:



## HOW TO GET A SECONDARY SUITE

Public safety is the City's highest priority. Secondary suites must comply with Vaughan's Zoning By-law, Ontario Building Code and Ontario Fire Code requirements to protect the safety and well-being of citizens.

### STEP 1: Review Secondary Suite Criteria

A secondary suite must comply with the requirements of Vaughan's Zoning By-law. Some of the zoning requirements and restrictions for secondary suites are provided below. Detailed zoning requirements are listed in Appendix A. For the full requirements, see By-law 1-88 as amended and contact the Building Standards department.

### PROPERTY CHARACTERISTICS FOR ZONING BY-LAW COMPLIANCE

#### ELIGIBLE PROPERTIES:

- Secondary suites are only allowed in specific single detached, semi-detached and street townhomes.
- Only one secondary suite unit is allowed in each eligible house.

## LOT CHARACTERISTICS

- The lot must have a minimum frontage of nine metres.
- A secondary suite may occupy up to 45 per cent of the gross floor area (GFA) of the main dwelling, but not be less than 35 square metres in floor area.

## PARKING

- At least three parking spaces are required on the lot to ensure sufficient parking is available to accommodate the main dwelling and the secondary suite. The parking spaces must be located on a properly surfaced driveway, garage or carport and cannot include parking on the street or street allowance.
- The entire front yard cannot be parking. There are maximum dimensions for driveway widths and minimum areas for “green” landscaping

## ENTRANCE

- A secondary suite must be accessed through a separate entrance or through a common indoor vestibule.
- An entrance to a secondary suite cannot be located on the same wall/façade as the entrance to the main dwelling.

## SECONDARY SUITES ARE NOT ALLOWED:

- in an attached or detached garage.
- in another building on the property not attached to the house.
- in dwellings used for a bed and breakfast, home occupation, a private home tutor, a private home daycare or a group home.
- in the Woodbridge Special Policy Area (see Appendix B)
- within a floodplain.

## WHAT HAPPENS IF THE SECONDARY SUITE DOES NOT COMPLY WITH THE ZONING BY-LAW?

- The applicant may revise their application to comply with the by-law.
- The applicant may apply for a minor variance through the Committee of Adjustment to request relief from the Zoning By-law (fee applies).

## STEP 2: Contact the City of Vaughan

Before homeowners decide to renovate their homes to incorporate a new or upgrade an existing secondary suite, they should contact Vaughan’s Building Standards department to discuss their plan and obtain the necessary information regarding zoning and building permit requirements.

If you have an existing secondary suite, you will need to establish when it was built to determine if a building permit under the Ontario Building Code or an inspection under the Ontario Fire Code is required.

## NEW SECONDARY SUITES OR SECONDARY SUITES BUILT AFTER JULY 14, 1994

A secondary suite built or proposed after July 14, 1994 must comply with the Ontario Building Code.

Submit a building permit application to the Building Standards department. Include professionally prepared drawings that indicate the proposed construction details and demonstrate compliance with the Ontario Building Code. Drawings can be prepared by an architect, professional engineer or a qualified designer with an appropriate Building Code Identification Number (BCIN).

## **SECONDARY SUITES BUILT ON OR BEFORE JULY 14, 1994**

If a secondary suite was built on or before July 14, 1994, the property owner must contact Vaughan Fire and Rescue Service (VFRS) at 905-832-2281 to arrange for a fire code inspection. VFRS will inspect the dwelling to ensure it complies with the applicable requirements of the Ontario Fire Code and identify any required upgrades.

If upgrades to the unit are required, submit a building permit application, including prepared drawings, to the Building Standards department to demonstrate compliance with the Ontario Fire Code. Once the building permit is issued and required upgrades are completed, VFRS will complete a final inspection to ensure the secondary suite is compliant with the Ontario Fire Code. In some cases, a building permit may be required where no upgrades are necessary.

## **REQUEST INFORMATION FROM THE CITY OF VAUGHAN**

If you do not know when the secondary suite was constructed, you can ask the City for information.

### **REQUEST PLANS FROM BUILDING STANDARDS**

The City of Vaughan maintains records of building permit plans; however, it is not guaranteed that all records are available.

To make a request, you need to:

- submit the [Permit Plans - Access Request](#) form to the Building Standards department
- provide proof of ownership or a letter from the owner giving the requestor permission to access the plans for a property
- pay a non-refundable retrieval fee

Archived plans are not on site at Vaughan City Hall and may take up to a week to retrieve from off-site storage. The retrieval fee is non-refundable even if there are no plans on file.

Once plans are retrieved, the City will contact the requestor to come in and view the plans. Copies of the plans may be requested at that time (fee applies). If the drawings are large, they will be sent off site to be copied. Additional time is required to copy all drawings.

### **REQUEST FOR PROPERTY INFORMATION**

Additional property information such as past building permit inspection notes, past building permit application forms, orders to comply, etc. can be requested through the Building Standards department by owners or authorized agents of the property. All other requests must be made through Access and Privacy in the Office of the City Clerk – a retrieval fee (non-refundable) is required for this service.

Please submit the [Records - Access Request](#) form to the Building Standards department.

### **REQUEST FOR PROPERTY SURVEYS**

A property survey is a document that outlines the property boundaries and the size of a lot.

Requests to search the City's property records for a survey of a property may be made by owners or authorized agents of the property. It is not guaranteed that the survey for the property will be in City records – a retrieval fee (non-refundable) is required for this service. If the survey is found, an additional copying charge applies. The retrieval fee is non-refundable even if there is no survey on file.

Please submit the [Records - Access Request](#) form to the Building Standards department.

A property survey may be part of the information you received when you purchased the property, or from past owners. A boundary survey may be available at the Province of Ontario, Land Registry Office.

### STEP 3: Building permit application

A building permit is required to renovate an existing house to accommodate a secondary suite. A building permit application generally includes:

- completed application form and various other forms as may be required
- construction drawings
- other approvals as may be required
- any other documents pertaining to the project

Building permit fees (including construction inspections) are the same as if you were adding construction or finishing a basement. There are no special fees for secondary suites. Construction costs vary with the complexity of the project. You are encouraged to receive multiple quotations.

#### DESIGNER REQUIREMENTS FOR CONSTRUCTION DRAWINGS

Although the Ontario Building Code allows homeowners to design their own homes and alternations, it is strongly recommended that you employ the services of a qualified designer with an appropriate Building Code Identification Number (BCIN), engineer or architect. Unacceptable or inadequate drawings can delay obtaining a building permit.

Drawings can be prepared by various professionals licenced or registered in the Province of Ontario, such as a qualified designer with an appropriate Building Code Identification Number (BCIN), an architect, a professional engineer.

You can find professionals in a number of ways, including:

- your own experience
- word of mouth references from family, friends and acquaintances
- contacts from home improvement centers and contractors

- recommendations from persons who have constructed a secondary suite
- professional designer's website
- listing of qualified designers from professional organizations (e.g. AATO, ARIDO, OAA, OAAAS, OACETT, PEO)
- internet search

The Ontario Ministry of Municipal Affairs registers qualified designers, and maintains a public search registry at [iaccess.gov.on.ca/BCINSearchWeb/search.html](http://iaccess.gov.on.ca/BCINSearchWeb/search.html).

Architects and others licensed and regulated by the Ontario Association of Architects (OAA) can be found at [oaa.on.ca](http://oaa.on.ca).

Engineers and others licensed and regulated by Professional Engineers Ontario (PEO) can be found at [peo.on.ca](http://peo.on.ca).

#### CONSTRUCTION DRAWING REQUIREMENTS

Provide two original sets of construction drawings.

All drawings must be provided on standard-sized sheets to a minimum scale of 1:75 or 3/16ths equals one foot. Drawings are to be fully dimensioned, signed and dated, and include information such as:

- construction material sizes, types and location of use including wall, ceiling and floor finishes
- proposed fire separation locations and specifications

Drawings not prepared by the owner must include:

- For registered designer:
  - the qualified designer's name and registration number
  - the qualification identification number of the qualified designer (Building Code Identification Number – BCIN)

- the qualified designer's signature
- the stamp or statement that the qualified designer has reviewed and taken responsibility for the design activities
- For architect or professional engineer:
  - professional stamp, signature and date

See Appendix C for more information.

## ONTARIO BUILDING CODE REQUIREMENTS

The Ontario Building Code provides minimum health and safety standards for all buildings in Ontario. Submitted construction drawings are to meet those minimum standards.

A sample Ontario Building Code checklist is attached in Appendix D. The items included are for convenience only and should be checked when preparing a building permit application for a secondary suite. Although every application is different, this list should represent the bulk of the items that are to be checked. The Ontario Building Code, current edition as amended, governs.

## STEP 4: Construction and inspection

### RENOVATORS AND CONTRACTORS REQUIRE BUSINESS LICENSES

The City of Vaughan requires all renovators/contractors to have a City of Vaughan business licence to work in Vaughan. Homeowners have the right and are encouraged to ask if a renovator/contractor is licensed or contact the City to verify license status before hiring them. For information regarding hiring a licensed contractor, homeowners should contact Access Vaughan at 905-832-2281.

## INSPECTION OF CONSTRUCTION

The person who is issued a building permit, or their agent is required to notify the Building Standards department when various stages of construction are ready to be inspected.

### For example:

- Excavation/footings: An inspection is required before pouring concrete.
- Backfill/foundation: An inspection is required before backfilling the foundation.
- Plumbing (inside drains): An inspection is required before covering the plumbing located below the floor slab.
- Plumbing rough-in: (all interior above ground plumbing): An inspection is required before covering drains, vents and the water distribution system.
- Structural framing and heating, ventilation and air conditioning (HVAC) rough-in: An inspection is required before the installation of insulation, vapour barriers and interior air barriers.
- Insulation and vapour barrier: An inspection is required before the installation of interior finishes, but after framing is passed.
- Final interior (occupancy): An inspection is required prior to occupancy when all requirements under the Ontario Building Code for occupancy are completed, such as completed kitchen, bathrooms, smoke and carbon monoxide alarms, handrails, lighting, etc.
- Final exterior: At this stage, all exterior work is complete.

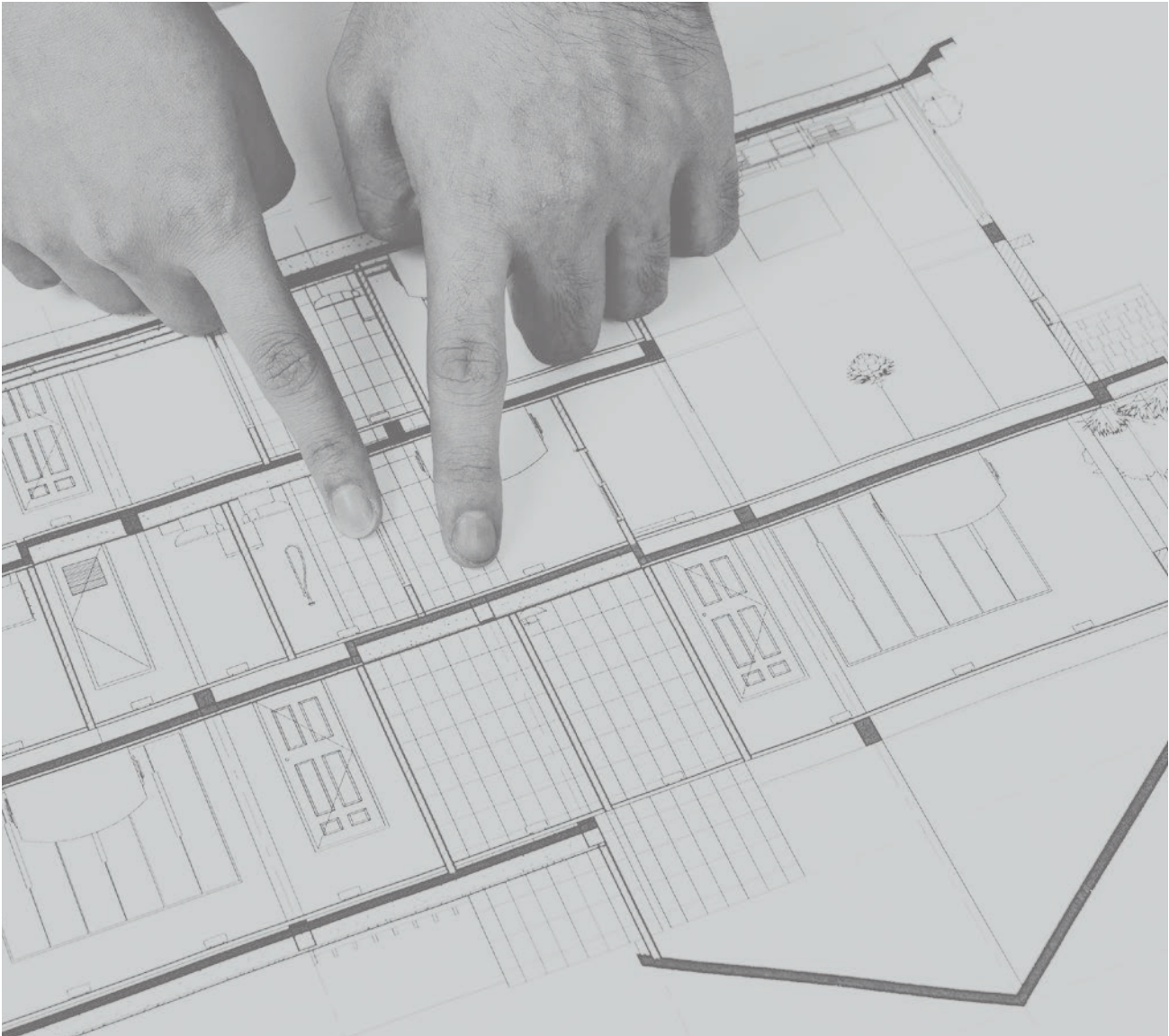
## SCHEDULING AN INSPECTION

To book an inspection, call 905-832-8511, between 8:30 a.m. and 4:30 p.m., Monday to Friday (excluding holidays and weekends). Please keep the following in mind when booking inspections:

- Inspections booked before 4 p.m. will be scheduled for the following business day.
- Inspections booked after 4 p.m. will be scheduled in two business days.
- Same-day inspection requests are not available.
- High-volume inspection periods may require a 48-hour timeline.

Information needed to book an inspection:

- building permit number
- municipal street address of project
- type of inspection being requested
- preferred inspection date
- contact name and telephone number of the person meeting the inspector on-site for the inspection



# CONTACTS/RESOURCES

City of Vaughan contact information:

- **VAUGHAN CITY HALL**  
2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1  
Hours: Monday - Friday 8:30 a.m. - 4:30 p.m.  
**Phone:** 905-832-2281  
TTY 1-866-543-0545  
**Website:** vaughan.ca
- **BUILDING STANDARDS**  
(permit applications, attaining plans, surveys and information on our property under certain circumstances)  
**Phone:** 905-832-8510  
**Fax:** 905-832-8558  
**Email:** buildingstandards@vaughan.ca
- **BUILDING STANDARDS, INSPECTION SERVICES**  
**Phone:** 905-832-8511  
**Fax:** 905-832-8624  
**Email:** buildingstandards@vaughan.ca
- **BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES**  
(includes business licenses for renovators and contractors)  
**Phone:** 905-832-2281  
**Email:** bylaw@vaughan.ca
- **COMMITTEE OF ADJUSTMENT**  
(minor variance process)  
**Phone:** 905-832-2281  
**Email:** CofA@vaughan.ca
- **DEVELOPMENT ENGINEERING** (lot grading)  
**Phone:** 905-832-2281  
**Email:** developmentengineering@vaughan.ca
- **VAUGHAN FIRE AND RESCUE SERVICES**  
**Phone:** 905-832-2281  
**Email:** firerescue@vaughan.ca

## ONTARIO BUILDING CODE REGULATIONS

**Website:** [ontario.ca/laws/regulation/120332](http://ontario.ca/laws/regulation/120332)

## ELECTRICAL SAFETY AUTHORITY (ESA)

**Phone:** 1-877-372-7233

**Website:** [esasafe.com](http://esasafe.com)

## LAND SURVEY RECORDS

(private company that may have a survey for a property – paid service)

**Website:** [landsurveyrecords.com](http://landsurveyrecords.com)

## MUNICIPAL PROPERTY ASSESSMENT CORPORATION (MPAC)

Richmond Hill Assessment Office

100 Via Renzo Dr., Suite 302

Richmond Hill, ON L4S 0B8

**Phone:** 905-508-4013

**Website:** [mpac.ca](http://mpac.ca)

**Toll Free:** 1-866-296-6722

**TTY:** 1-877-889-6722

## PROVINCE OF ONTARIO, LAND REGISTRY OFFICE

York Region, LRO 65

50 Bloomington Rd. West, 3rd Floor

Aurora, ON L4G 0L8

**Phone:** 905-713-7798

(Reference plans on land only, title/deed searches – no buildings on survey)

## TERANET

(private company for digital property search – paid service)

**Website:** [teranetexpress.ca](http://teranetexpress.ca)

Title search website problems

**Toll Free:** 1-800-208-5263, ext. 3

**Email:** [info@teranetexpress.ca](mailto:info@teranetexpress.ca)

## TORONTO REGION CONSERVATION AUTHORITY

101 Exchange Ave., Vaughan, ON L4K 5R6

**Phone:** 416-661-6600

**Toll Free:** 1-888-872-2344

**Email:** [info@trca.on.ca](mailto:info@trca.on.ca)

**Website:** [trca.ca](http://trca.ca)

# APPENDIX

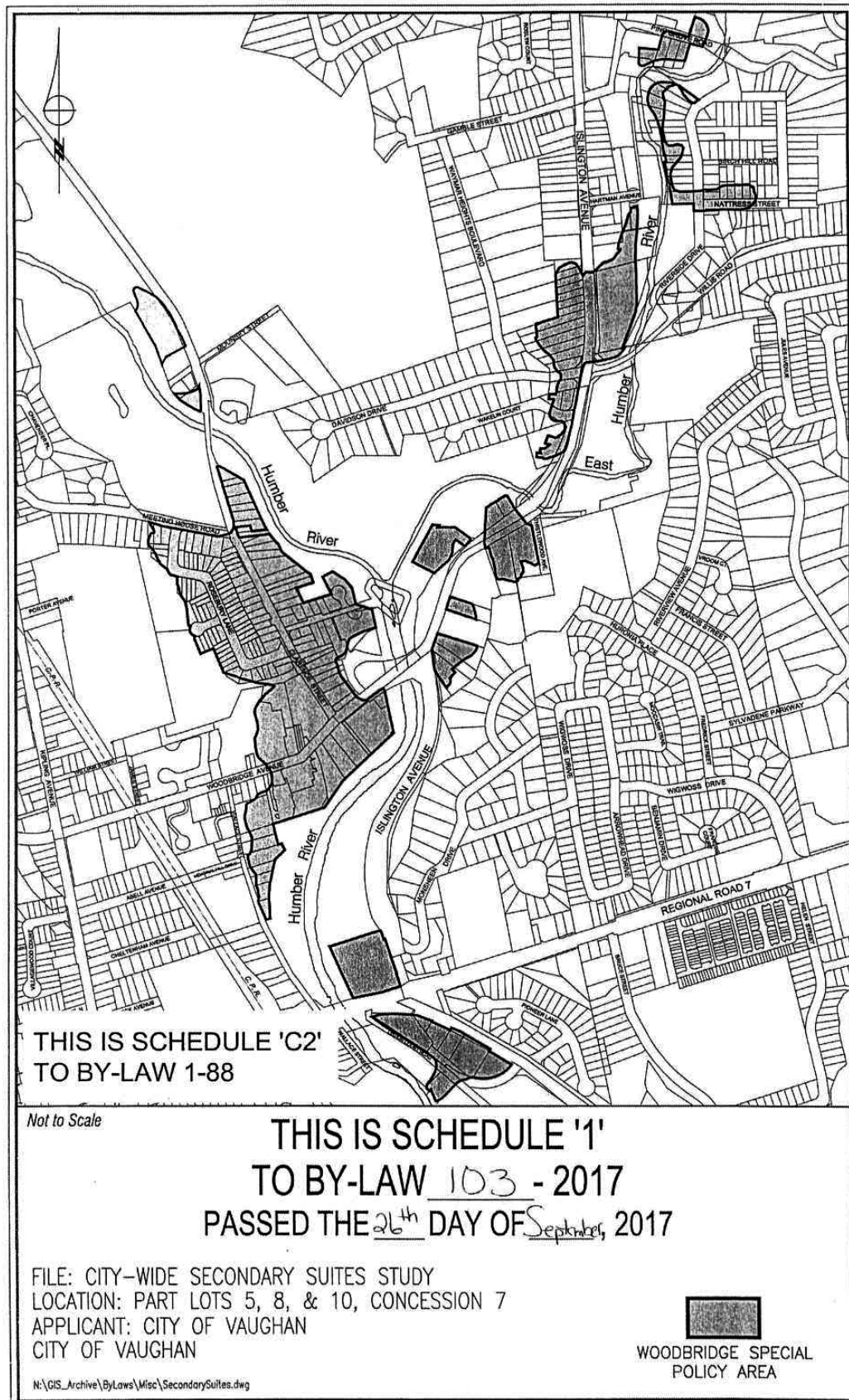
## Appendix A: Detailed Zoning Requirements

| SECONDARY SUITE REQUIREMENTS UNDER CITY OF VAUGHAN ZONING BY-LAW 1-88 |                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-----------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM                                                                  | REQUIREMENT                                                                                                                                                                                                                                                                                                                                                                                             | COMMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Eligible Properties                                                   | <p><b>Eligible housing types:</b></p> <ul style="list-style-type: none"> <li>• single detached dwelling</li> <li>• semi-detached dwelling</li> <li>• street townhouse dwelling</li> </ul> <p><b>NOTE: A secondary suite cannot be located within a separate building on the property.</b></p> <p><b>NOTE: A garage attached to the main dwelling shall not be converted into a secondary suite.</b></p> | <p><b>Non-eligible properties:</b></p> <ul style="list-style-type: none"> <li>• in the Woodbridge Special Policy Area (see Appendix B)</li> <li>• within a floodplain – contact Toronto and Region Conservation Authority (TRCA)</li> <li>• in the same dwelling as a: <ul style="list-style-type: none"> <li>• home occupation</li> <li>• private home tutor</li> <li>• private home daycare</li> <li>• bed and breakfast</li> </ul> </li> <li>• correctional or crisis care group home</li> <li>• apartment buildings or condominiums</li> <li>• stacked and block townhomes</li> <li>• office, retail, industrial or mixed-use properties</li> </ul> |
| Maximum Number of Units                                               | Maximum two dwelling units in total (main and secondary)                                                                                                                                                                                                                                                                                                                                                | Cannot be combined with other uses (see list above)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Minimum Lot Width                                                     | Minimum 9 m wide (approx. 30 feet) for single detached, semi-detached or street townhouse                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Minimum Parking                                                       | <p>Three parking spaces within property boundaries</p> <p><b>NOTE: Minimum requirements for landscaping and maximum dimension for driveways must be maintained.</b></p>                                                                                                                                                                                                                                 | <ul style="list-style-type: none"> <li>• in a garage or carport, generally 3 m x 6 m interior clear dimensions</li> <li>• on-grade, generally 2.7 m x 6.0 m</li> <li>• Cannot include parking on the street or boulevard</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Entrance                                                              | <p>Be separate from the entrance to the main dwelling, either as a separate exterior entrance located on the side or rear wall of a dwelling or from a common indoor vestibule</p> <p><b>NOTE: A new entrance to secondary suite shall not be permitted on the same wall as the main entrance to the main dwelling.</b></p>                                                                             | <ul style="list-style-type: none"> <li>• be accessible from the street by an unobstructed hard landscaped surface minimum 1.2 m wide (approx. 4 feet) or a driveway</li> <li>• secondary suite entrance cannot be located closer to the front lot line than the main entrance of the residential dwelling unit on the abutting lot</li> <li>• be setback minimum of 1.2 m (approx. 4 feet) from the interior side lot line, except where the minimum interior side yard setback requirement to an entrance is greater</li> </ul>                                                                                                                        |
| Maximum/Minimum Size                                                  | <p>Secondary suite:</p> <ul style="list-style-type: none"> <li>• maximum 45% of Gross Floor Area (GFA) of main dwelling</li> <li>• minimum 35 m<sup>2</sup> (377 square feet)</li> </ul>                                                                                                                                                                                                                | <ul style="list-style-type: none"> <li>• GFA of secondary suite includes all interior and exterior walls</li> </ul> <p><b>NOTE: GFA is calculated as total exterior dimensions of enclosed space above grade NOT including garage.</b></p>                                                                                                                                                                                                                                                                                                                                                                                                              |

A secondary suite must comply with the requirements of Vaughan's Zoning By-law. Some of the zoning requirements and restrictions for secondary suites are provided in this table. For full details, see By-law 1-88 as amended.

## Appendix B: Woodbridge Special Policy Area

(NOTE: Secondary suites are not permitted on properties located in the Woodbridge Special Policy Area.)



## Appendix C: Drawing Requirements

### Two sets of construction drawings must be provided.

All drawings must be provided on standard-sized sheets to a minimum scale of 1:75 or 3/16ths equals one foot. Drawings are to be fully dimensioned, signed and dated and include information such as:

| ITEM                                       | REQUIREMENT                                                                                                                                                                                                               | COMMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|--------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Site Plan</b>                           | Entire property (including front, sides and rear of property)                                                                                                                                                             | <ul style="list-style-type: none"> <li>• measurements in metric (imperial measurements as supplemental only)</li> <li>• clearly indicate: <ul style="list-style-type: none"> <li>• lot frontage</li> <li>• location and dimension of parking spots and hard landscaping</li> <li>• dimensions from house to property lines</li> <li>• location of entrances and steps</li> <li>• any additions (including walls/stairs for new basement entrance)</li> <li>• location of new window wells</li> </ul> </li> </ul>                                             |
| <b>Existing Floor Plans and Elevations</b> | <ul style="list-style-type: none"> <li>• Existing and demolition floor plans of all floors (basement, main, second, third)</li> <li>• Existing elevations where new or enlarged exterior openings are proposed</li> </ul> | <ul style="list-style-type: none"> <li>• all exterior dimensions</li> <li>• room names</li> <li>• smoke and carbon monoxide alarms</li> <li>• structural elements</li> <li>• existing wall and ceiling construction in areas to be altered/renovated</li> <li>• location of plumbing fixtures and laundry</li> <li>• location of stairs, furnace, etc.</li> <li>• clear ceiling heights</li> <li>• exterior openings (windows and doors) with dimensions</li> </ul>                                                                                          |
| <b>Proposed Floor Plans and Elevations</b> | <ul style="list-style-type: none"> <li>• Floor plans of any floor that has changes (basement, main, second, third)</li> <li>• Proposed elevations where new or enlarged exterior openings are proposed</li> </ul>         | <ul style="list-style-type: none"> <li>• exterior and interior dimensions</li> <li>• room names</li> <li>• smoke and carbon monoxide alarms</li> <li>• window and door location and sizes</li> <li>• sprinkler heads (if any)</li> <li>• new walls and ceilings</li> <li>• new structural elements</li> <li>• construction of fire and sound separation</li> <li>• location of plumbing fixtures (bathroom layout), laundry, floor drains, etc.</li> <li>• clear ceiling heights</li> <li>• exterior openings (windows and doors) with dimensions</li> </ul> |
| <b>Section</b>                             | Building section through construction                                                                                                                                                                                     | <ul style="list-style-type: none"> <li>• indicate fire and sound separation construction including under any stairs</li> <li>• clear ceiling heights</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                              |
| <b>Details</b>                             | Details of new wall/ceiling construction                                                                                                                                                                                  | <ul style="list-style-type: none"> <li>• typical walls and ceiling construction</li> <li>• exterior walls including insulation values</li> <li>• interior walls</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                   |

| ITEM                                          | REQUIREMENT                                                                                                                                                                                                                                                                                                                          | COMMENTS                                                                                                                                                                                                                                                                                                                                                                                                            |
|-----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Heating, Ventilation, Air Conditioning (HVAC) | Existing heating system and fuel source                                                                                                                                                                                                                                                                                              | <ul style="list-style-type: none"> <li>revised heating layout</li> <li>ventilation summary</li> <li>mechanical design layout and heat loss or gain calculations</li> <li>air leakage calculation and summary including F-280 forms, mechanical ventilation design summary (as required)</li> </ul>                                                                                                                  |
| Private Sewage Disposal System                | Where no municipal sanitary sewer is available adjacent to a property, the building sewer shall be connected to a private sewage disposal system to contain the sewage. The private disposal system shall be installed and maintained in compliance with all applicable acts, legislation, regulations and by-laws. (By-law 87-2016) | <ul style="list-style-type: none"> <li>provide new septic system design to accommodate existing dwelling unit and secondary suite, or</li> <li>provide verification the existing individual septic system will accommodate existing dwelling unit and secondary suite</li> </ul> <p><b>NOTE: The owner or occupier of such property shall operate and maintain the private sewage disposal facility system.</b></p> |

#### SOME OTHER ITEMS THAT MAY BE REQUIRED

|                                             |                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|---------------------------------------------|---------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Various Forms (as applicable)               | Various forms (as applicable)                                                   | <ul style="list-style-type: none"> <li>Application for a Permit to Construct or Demolish</li> <li>Schedule 1 Designer Information (design, mechanical, septic)</li> <li>Residential Plumbing Data</li> <li>Energy Efficiency Design Summary</li> <li>Sewage System Designer and Installer Information</li> </ul>                                                                                                                    |
| Other Documents that Pertain to the Project | Various approvals (as applicable to the property in question, fees could apply) | <ul style="list-style-type: none"> <li>Toronto and Region Conservation Authority (TRCA) approval</li> <li>Development Engineering approval (lot grading)</li> <li><b>NOTE: lot grading plan prepared by a Ontario Land Surveyor may be required.</b></li> <li>Urban Design and Cultural Heritage division approval</li> <li>Copy of Vaughan Fire and Rescue Service notice</li> <li>Other items as may become applicable</li> </ul> |

# Appendix D: Sample Ontario Building Code Checklist

The following items are for convenience only and should be checked when preparing a building permit application for converting a single-family dwelling into two dwelling units. Although every application is different, this list should represent the bulk of the items that are to be checked. The items represent the most common solutions. The Ontario Building Code, current edition as amended, governs.

Where compliance cannot be attained through Division B Part 9 of the building code, Part 11 can be utilized if the dwelling has been in existence for five years or more.

| REQUIREMENTS | BUILDING CODE REGULATIONS<br>UNDER PART 9<br>(NEW BUILDINGS OR BUILDINGS<br>LESS THAN FIVE YEARS OLD) | BUILDING CODE REGULATIONS<br>UNDER PART 11<br>(BUILDINGS FIVE YEARS OR OLDER) |
|--------------|-------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
|--------------|-------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|

## 1. Floor/ceiling wall Fire Resistance Rating (FRR) between dwelling units

|                                                                                |                                       |                                                                                                                                                                                                                                                                                                                                                   |
|--------------------------------------------------------------------------------|---------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Floor/Ceiling (horizontal) FRR between the two dwelling units and common areas | 45 minutes                            | <b>OPTION 1:</b> 30-minute rating is acceptable<br><b>OPTION 2:</b> 15-minute horizontal FRR where:<br>i) smoke alarms are installed in every dwelling unit and in common areas, and<br>ii) smoke alarms are interconnected (entire building)<br><b>OPTION 3:</b> FRR waived if entire building is sprinklered, smoke tight construction required |
| Walls (vertical) FRR between dwelling units and common areas                   | 45 minutes                            | 30 minutes                                                                                                                                                                                                                                                                                                                                        |
| Door fire protection rating                                                    | 20 minutes (with self-closing device) | <b>OPTION 1:</b> Existing 45 mm (1¾") solid wood or metal clad acceptable,<br><b>OPTION 2:</b> Waived if floor area is sprinklered                                                                                                                                                                                                                |
| Floor and wall sound rating (STC) separating dwelling units and common space   | STC 50                                | Existing floor/wall may be acceptable                                                                                                                                                                                                                                                                                                             |

## 2. Number of exits and exposure

|                         |                                                                                                                       |                                                                                                                                                                                                                                                                                                          |
|-------------------------|-----------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Shared egress (exiting) | Two means of egress required                                                                                          | Existing one exit may be acceptable                                                                                                                                                                                                                                                                      |
| Minimum of one exit     | Minimum one exit to the exterior (not through a garage) to be provided<br><br><b>NOTE: Two exits may be required.</b> | Acceptable exits include: <ul style="list-style-type: none"> <li>door to the exterior where smoke alarms interconnected within dwelling unit</li> <li>a shared exit separated by a minimum 30 minute fire separation and interconnected smoke alarms in both dwelling units and common spaces</li> </ul> |

| REQUIREMENTS                      | BUILDING CODE REGULATIONS<br>UNDER PART 9<br>(NEW BUILDINGS OR BUILDINGS<br>LESS THAN FIVE YEARS OLD)                                                                               | BUILDING CODE REGULATIONS<br>UNDER PART 11<br>(BUILDINGS FIVE YEARS OR OLDER)                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-----------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Protection of exterior exit stair | Exterior exit stair to be protected from fire exposure if this is the only exit                                                                                                     | New openings from other dwelling units near unenclosed exit stairs or ramps, in exterior walls of exits to be protected (i.e. wired glass in steel frames or glass block, if openings are within 3 m (9'-10") horizontally and less than 10 m (32'-10") below or less than 5 m (16'-5") above the exit stair or ramp). <ul style="list-style-type: none"> <li>• No compliance alternatives available</li> <li>• <b>NOTE: if there is another exit (i.e. egress window), then protection as noted above is NOT required.</b></li> </ul> |
| Egress Window                     | Egress window, minimum clear openable area of 0.35 m <sup>2</sup> (3.8 sq. ft.) with no dimension less than 380 mm (15"); except for basements maximum sill height 1,000 mm (3'-3") |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |

### 3. Smoke and carbon monoxide alarms (general requirements only, additional requirements may apply)

|                                                             |                                                                                                             |                                                                                                                                                                                     |
|-------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Interconnected smoke alarms                                 | Smoke alarms interconnected within each dwelling unit                                                       | If using 15-minute horizontal fire resistance rating option smoke alarms required to be interconnected in entire house (existing dwelling unit, new dwelling unit and common areas) |
| Location and general requirements of smoke alarms           | Smoke alarms required on every floor, including basement, in every bedroom and in hallways serving bedrooms | Smoke alarms required to be on every floor and in hallways serving bedrooms                                                                                                         |
| Visual signalling component (strobe light) for smoke alarms | New smoke alarms to have a visual signalling component (strobe light)                                       | Existing construction may not require a strobe light                                                                                                                                |
| Carbon monoxide alarms                                      | Hard wired                                                                                                  | May be battery operated or plugged into an electrical outlet                                                                                                                        |

### 4. Ceiling heights, door sizes, stud wall reinforcement, room sizes

|                                           |                                                                                                                                               |                                                                                                           |
|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|
| Minimum clear ceiling heights in basement | 6'-11" over entire floor area,<br>6'-5" under beams/ducts                                                                                     | 6'-5" over all required room areas, under beams/ducts and any location normally used as a means of egress |
| Minimum door sizes (minimum height 78")   | Unit entrance or service room doors = 32"<br>Bedroom or rooms not mentioned elsewhere = 30"<br>Bathroom, washroom, walk-in closet doors = 24" |                                                                                                           |
| Stud wall reinforcement                   | Provide stud wall reinforcement for future installation of grab bars in main bathroom – may not be required for existing bathroom             |                                                                                                           |

| REQUIREMENTS       | BUILDING CODE REGULATIONS<br>UNDER PART 9<br>(NEW BUILDINGS OR BUILDINGS<br>LESS THAN FIVE YEARS OLD)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | BUILDING CODE REGULATIONS<br>UNDER PART 11<br>(BUILDINGS FIVE YEARS OR OLDER) |
|--------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
| Minimum room sizes | <p><b>Separate Spaces:</b></p> <p>Living Room..... = 145 square feet</p> <p>Dining Room ..... = 75 square feet</p> <p>Master Bedroom..... = 105 square feet</p> <p>Other Bedroom..... = 75 square feet</p> <p>Bathroom..... = sufficient space for a toilet, hand sink, bathtub or shower</p> <p><b>Combined spaces:</b></p> <p>Living Room (more than 1 bedroom)..... = 145 square feet</p> <p>Living Room (1 bedroom)..... = 118 square feet</p> <p>Dining Room ..... = 35 square feet</p> <p>Kitchen (more than 1 bedroom) ..... = 45 square feet</p> <p>Kitchen (1 bedroom) ..... = 40 square feet</p> <p>Bedroom space..... = 45 square feet</p> <p><b>Bachelor Unit:</b></p> <p>Living, dining, bedroom and kitchen spaces ..... = 145 square feet</p> |                                                                               |

## 5. Natural light

|                                                       |                                                |                     |
|-------------------------------------------------------|------------------------------------------------|---------------------|
| Natural light in living and dining rooms              | 10% or area served                             | 5% of area served   |
| Natural light in bedrooms and other finished rooms    | 5% of area served                              | 2.5% of area served |
| Kitchen, bathrooms, laundry, basement recreation room | None required if electrical lighting available |                     |

## 6. Spatial separation (amount of allowable glass in an exterior wall)

|                    |                                                                                    |                                                                                                                                                                                                                                                  |
|--------------------|------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Spatial separation | New glazed openings in exterior walls of houses to meet building code requirements | <ul style="list-style-type: none"> <li>new glazed openings in exterior walls of houses to meet building code requirements</li> <li>existing windows in walls may be relocated to another part of the wall under certain circumstances</li> </ul> |
|--------------------|------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## 7. Electrical facilities

|                       |                                              |
|-----------------------|----------------------------------------------|
| Electrical facilities | Minimum electrical facilities to be provided |
|-----------------------|----------------------------------------------|

## 8. Laundry fixtures

|                    |                                                                                                                                                                                                           |
|--------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Laundry facilities | Laundry facilities or a space for laundry facilities to be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit |
|--------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

| REQUIREMENTS | BUILDING CODE REGULATIONS<br>UNDER PART 9<br>(NEW BUILDINGS OR BUILDINGS<br>LESS THAN FIVE YEARS OLD) | BUILDING CODE REGULATIONS<br>UNDER PART 11<br>(BUILDINGS FIVE YEARS OR OLDER) |
|--------------|-------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
|--------------|-------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|

## 9. Heating, ventilation and air conditioning (HVAC) system

|                          |                                                                                                                                                                                                                                                                                                                                                                                                 |
|--------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Duct type smoke detector | The existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector. |
|--------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## 10. Private sewage system

|                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Private sewage disposal system (where no municipal sanitary sewer is available adjacent to the property) | <p>Private disposal system shall be installed and maintained in compliance with all applicable acts, legislation, regulations and by-laws</p> <ul style="list-style-type: none"> <li>• Provide new septic system design to accommodate existing dwelling unit and secondary suite, or</li> <li>• Provide verification existing individual septic system will accommodate existing dwelling unit and secondary suite</li> <li>• Existing location may be acceptable in certain situations</li> </ul> |
|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

*Footnote: Although every application is different, this list should represent the bulk of the items that are to be checked. The Ontario Building Code current edition as amended, governs.*

**It is strongly recommended that you employ the services of a qualified designer with an appropriate Building Code Identification Number (BCIN), engineer or architect. Unacceptable or inadequate drawings can delay obtaining a building permit.**



City of Vaughan, Building Standards  
2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1  
MARCH 2018

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

## **BY-LAW NUMBER 103-2017**

**A By-law to amend City of Vaughan By-law 1-88.**

**WHEREAS** the matters herein set out are in conformity with the Vaughan Official Plan 2010 (VOP2010) of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been an amendment to the Vaughan Official Plan adopted by Council, with which the matters herein set out are in conformity;

**NOW THEREFORE** the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Adding the following definition to Section 2.0 DEFINITIONS in alphabetical sequence:  
SECONDARY SUITE – Means an accessory dwelling unit which is located within a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling unit.
  - b) Adding the following subparagraph to Subsection 3.20 USE OF RESIDENTIAL LOTS:  
“c) In addition to the above, subject to the provisions established in Subsection 4.1.8 Secondary Suite, one (1) Secondary Suite may be permitted accessory to a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling unit.”
  - c) Adding the following sentence to the end of Subsection 4.1.3 Rooms Below Grade:  
“Notwithstanding the above, one (1) Secondary Suite may be permitted in a cellar or part of a cellar subject to the provisions established in Subsection 4.1.8 Secondary Suite.”
  - d) Adding the following to the Subsection 4.1.5 Home Occupation:  
“g) A Secondary Suite shall not be permitted in the same Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling as a home occupation.”
  - e) Deleting the existing Sub-section 4.1.8 and replacing it with the following:  
“4.1.8 Secondary Suite  
A Secondary Suite shall be permitted within a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling, subject to the following provisions:
    - i. The addition of a Secondary Suite in a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling unit shall not change the use of the lot.
    - ii. A maximum of one (1) Secondary Suite shall be permitted on a residential lot.
    - iii. A Secondary Suite shall only be permitted within a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling located on a lot with a

minimum lot frontage of 9m.

- iv. A Secondary Suite shall have a minimum floor area of 35m<sup>2</sup>.
- v. A Secondary Suite shall not exceed forty-five percent (45%) of the total gross floor area of the Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling within which it is located.
- vi. An entrance to a Secondary Suite shall:
  - A. be separate from the main entrance to the Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling, either as a separate exterior entrance located on the side or rear wall of a dwelling or from a common indoor vestibule;
  - B. be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2m in width, or a driveway;
  - C. not be located closer to the front lot line than the main entrance of the residential dwelling unit on the abutting lot; and,
  - D. be setback a minimum of 1.2m from the interior side lot line, except where the minimum interior side yard setback requirement to an entrance is greater.
- vii. A new entrance to a Secondary Suite shall not be permitted on the same wall as the main entrance to the Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling.
- viii. A minimum of 3 parking spaces, as defined in Sub-section 2.0 DEFINITIONS or as described in Sub-section 4.15.5 PARKING SPACES, shall be provided on a lot where a Secondary Suite is located.
- ix. A Secondary Suite shall not be permitted in the same Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling as a Home Occupation, Private Home Tutor, Private Home Daycare, Bed and Breakfast Establishment, or Correctional or Crisis Care Group Home.
- x. A garage attached to the Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling shall not be converted into a Secondary Suite.
- xi. Notwithstanding the above, a Secondary Suite shall not be permitted:
  - A. On the lands located within the Woodbridge Special Policy Area, as shown on Schedule "C2" attached hereto as Schedule "1".
  - B. Within a Floodplain.

f) Adding the following Subsection in numerical sequence:

"4.1.9 Residential Zone Requirements

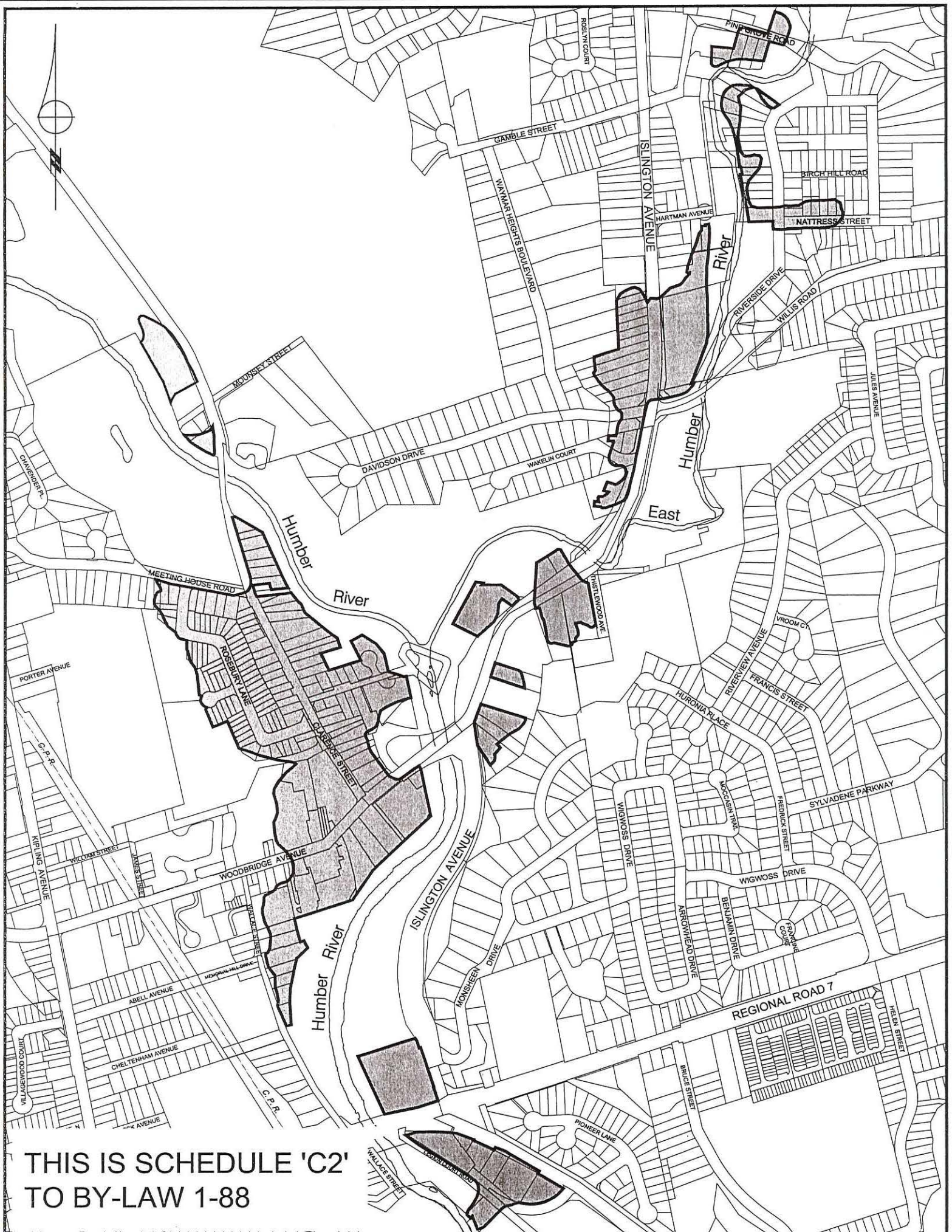
No person shall within a Residential Zone use any land or erect, alter or use any building or structure except for a purpose set forth in the Section referring to the Zone and in compliance with its provisions contained in Subsection 4.1 (General Provisions –

Residential Zones), in Section 3.0 (General Provisions – All Zones), and in Schedule “A”.

2. Schedule “1” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 26<sup>th</sup> day of September, 2017.

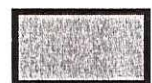
  
Hon. Maurizio Bevilacqua, Mayor  
Barbara A. McEwan, City Clerk



Not to Scale

# THIS IS SCHEDULE '1' TO BY-LAW 103 - 2017 PASSED THE 26<sup>th</sup> DAY OF September, 2017

FILE: CITY-WIDE SECONDARY SUITES STUDY  
LOCATION: PART LOTS 5, 8, & 10, CONCESSION 7  
APPLICANT: CITY OF VAUGHAN  
CITY OF VAUGHAN



WOODBIDGE SPECIAL  
POLICY AREA

### **SUMMARY TO BY-LAW 103-2017**

This by-law affects lands with residential zoning city-wide.

The purpose of this by-law is to permit a Secondary Suite as an accessory use to a Single Family Detached Dwelling, Semi-Detached Dwelling or Street Townhouse Dwelling unit, subject to the specified provisions addressing the minimum and maximum size, location, parking requirement and other development standards. It also restricts the permission of a secondary suite(s) within the Woodbridge Special Policy Area and within the established Floodplain.

# Adding a Second Unit in an Existing House

Ontario Building Code  
Information

This document was developed with the input of:

- Ministry of Municipal Affairs and Housing
- Large Municipal Chief Building Officials Group
- Ontario Building Officials Association
- Ontario Association of Fire Chiefs

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# Adding a Second Unit to an Existing House

Adding a second unit is a great way to provide independent living for a family member or make a little extra money to help pay off the mortgage. But there are things you need to consider as you decide whether to build a second unit. Is your home detached, semi-detached or a rowhouse that is more than five years old? Are you considering renovating it to add a second unit? If the answers are yes, then this guide can help you. It fulfills a commitment made in Ontario's Housing Supply Action Plan to provide homeowners with a user-friendly guide and checklist to help you build legal second units.

Note: If your house is less than five years old, different Building Code rules apply. **Contact your local building department** for more information.

Before deciding to add a second unit, it is important that you **first speak with your local municipal planning and building departments**. They can tell you whether or not you can add a second unit on your property and answer any questions that you have related to local zoning, the Building Code and other by-laws.

There are several important factors you need to consider before adding a second unit, including:

- Applicable municipal zoning requirements
- Necessary building permits
- Designing your unit to comply with the Building Code
- Required building inspections during construction

It is important to meet planning and Building Code requirements. Doing so will help ensure that your house and second unit are legal, safe and healthy places to live.

To help you through the sometimes complex design and building process, we recommend you hire a qualified professional such as an architect, professional engineer or a designer registered with the Ontario government. These professionals and your builder can act



## What is a second unit?

A second unit is a self-contained dwelling unit with a private kitchen, bathroom facilities and sleeping areas. It can be located in your house or on your property, above a laneway garage or in a coach house. This document generally applies to Building Code requirements for second units in houses, and not for second units in garages or coach houses, though some of the same rules apply.



## Did You Know?

For the construction of a second unit in an existing house, development charges are not collected.

Also, the Government is considering potential regulations that might further address barriers to establishing second units such as local parking requirements.

as your agent regarding matters with your local municipality. They can help you get all necessary approvals, including a building permit, and also arrange construction inspections.

## Municipal Zoning and Other By-Laws

Know your municipality's zoning by-laws. They affect the construction of your second unit. **Ask your local planning and building department** about:

- The zoning requirements and standards for second units that apply to your property. This includes rules around parking requirements, exits and entrances, servicing or minimum or maximum unit size.
- Whether you need to apply for rezoning or a minor variance.
- Any other applicable agreements and approvals that are required before you can add a second unit.
- Whether your second unit will need to be licensed or registered with your municipality.

If you cannot comply with your municipality's by-laws, you will not be able to add a second unit.

## Getting a Building Permit

To add a second unit in your house, you will need a building permit. You or your agent can apply for one at your local building department. You will need to submit:

- A completed application form and any other forms and supporting documents requested by the municipality
- Construction drawings (most municipalities require at least two sets of drawings)
- Payment of the building permit fee

You should also **check with your municipality** to find out if:

- You need to hire a licensed contractor to do the work.
- They accept electronic permit applications, as this can speed up processing time.

Once your complete application has been submitted, you will hear back within 10 business days whether it has been approved or not. Incomplete applications or improper design may mean your permit will be delayed or not accepted.

## Building Inspections

Once your building permit has been issued, building inspectors from the municipality must review work at various stages during construction. Inspectors will need to check framing, insulation, plumbing, interior finishes and other items as outlined in the Building Code. Make sure to **confirm with your inspector** what needs to be inspected.

You or your agent are responsible for informing your building department when different stages of construction are ready for inspection.

Any second unit, whether it is new or existing, must be a safe place to live. If you already have an existing second unit in your house and have concerns with its design, you are encouraged to **contact your local building department**.

## Building Code Requirements for Second Units

Ontario's Building Code sets out minimum construction standards for how to build a second unit in your house. These minimum standards are described in the sections that follow. In some cases, you may wish to build beyond the minimum requirements of the Building Code. Building beyond the Building Code provides homeowners many advantages, including greater occupant comfort and amenities that can make your second unit a nicer place to live.



## Age of Your House

Different Building Code rules apply depending on the age of your house.

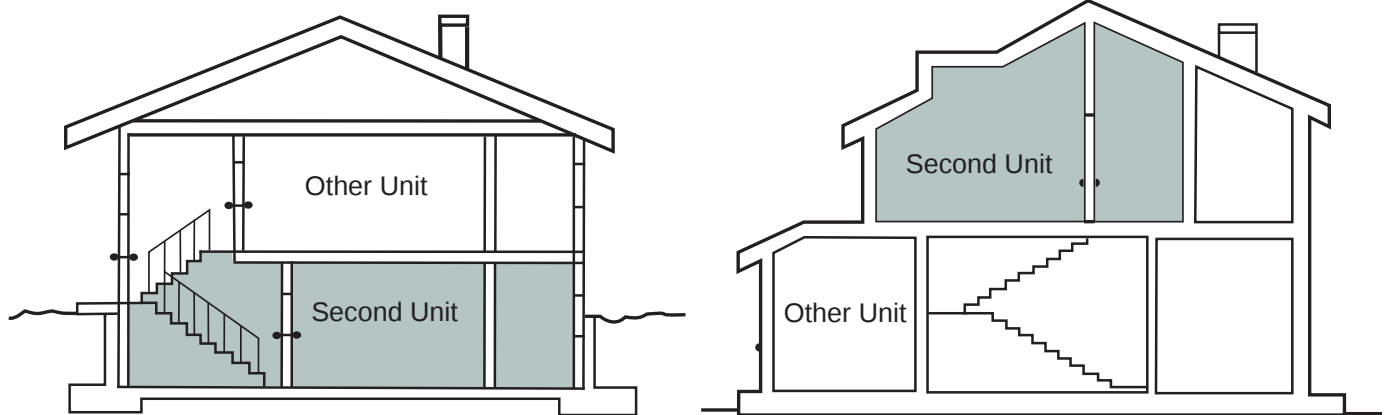
If your house is more than five years old, it is classified as an existing house and you have more flexibility under the Building Code when you make renovations.

If your house is less than five years old, then it is classified as a new building and under the Building Code it generally must meet

new construction requirements. For more information on adding a second unit to a **new** house, **contact your local building department.**

## Location of Your Second Unit

You can build a second unit in any part of your house. It can be all on one floor or on multiple levels. Most second units are built in the basement or attic. Building Code rules can vary depending on where the second unit is located in your house.



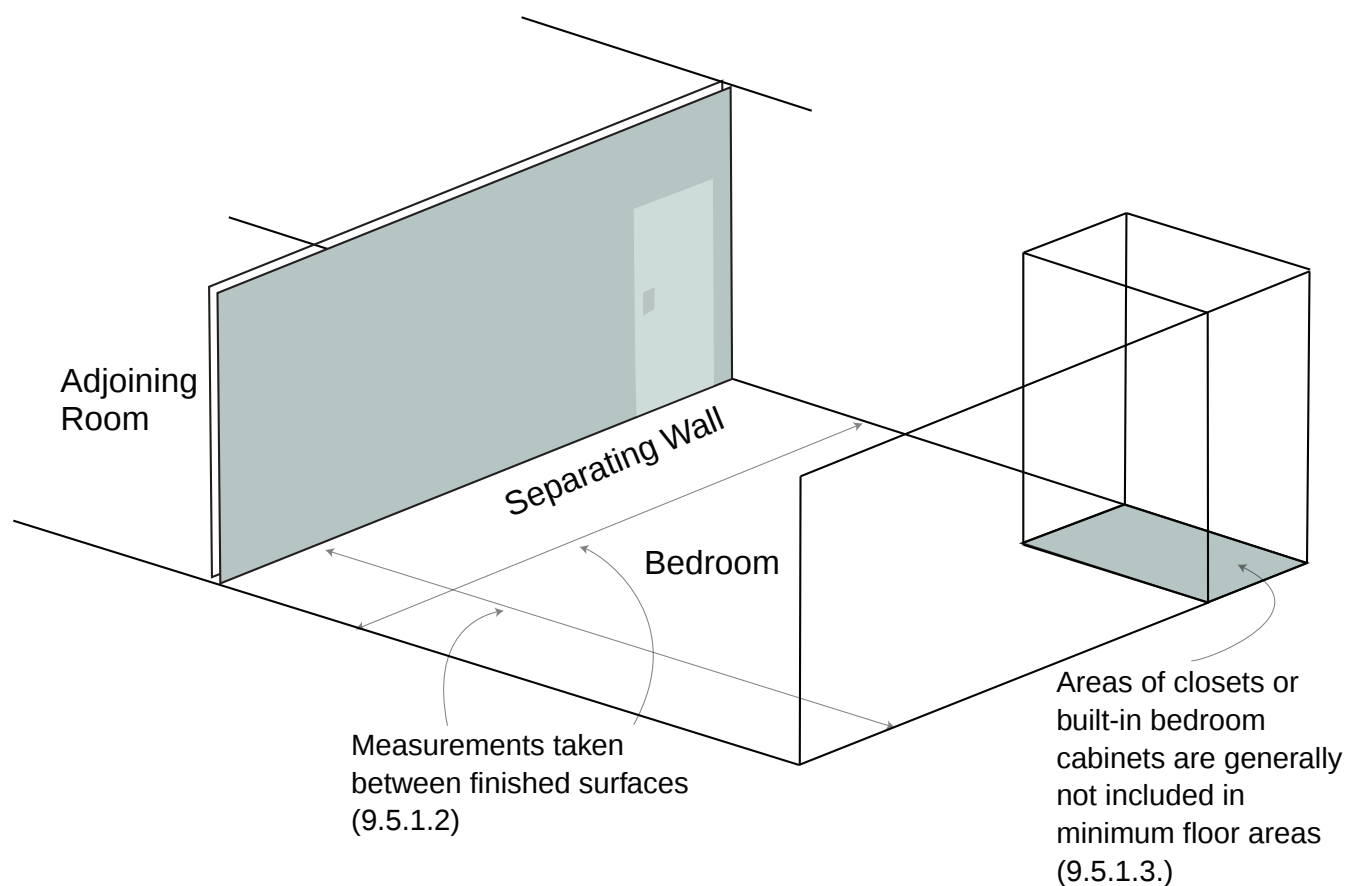
Examples of Second Unit Locations

## Room Sizes and Floor Area

The Building Code sets out minimum room sizes in dwelling units, including second units. Room sizes vary depending on whether rooms are separated by walls or the unit is open concept. For example, the minimum area of a dining room separated by walls is 7 m<sup>2</sup> (75 ft<sup>2</sup>), while an open concept bachelor unit combining sleeping, living, and dining areas and kitchen space is permitted to be 13.5 m<sup>2</sup> (145 ft<sup>2</sup>). Generally, minimum sizes for rooms and spaces includes:

| Room/Space:                                                     | Minimum Required Floor Area:                               |
|-----------------------------------------------------------------|------------------------------------------------------------|
| Living area                                                     | 13.5 m <sup>2</sup> (145 ft <sup>2</sup> )                 |
| Dining area                                                     | 7 m <sup>2</sup> (75 ft <sup>2</sup> )                     |
| Kitchen                                                         | 4.2 m <sup>2</sup> (45.2 ft <sup>2</sup> )                 |
| Combined living, dining and kitchen areas in a one-bedroom unit | 11 m <sup>2</sup> (118.4 ft <sup>2</sup> )                 |
| Master bedroom (without built-in closet)                        | 9.8 m <sup>2</sup> (95 ft <sup>2</sup> )                   |
| Other bedrooms (without built-in closets)                       | 7 m <sup>2</sup> (75 ft <sup>2</sup> )                     |
| Bathroom                                                        | Sufficient space for sink, toilet and shower stall or bath |
| Combined sleeping, living and dining areas and kitchen space    | 13.5 m <sup>2</sup> (145 ft <sup>2</sup> )                 |

(Relevant Building Code provisions - Division B, Subsections 9.5.4. to 9.5.9.)



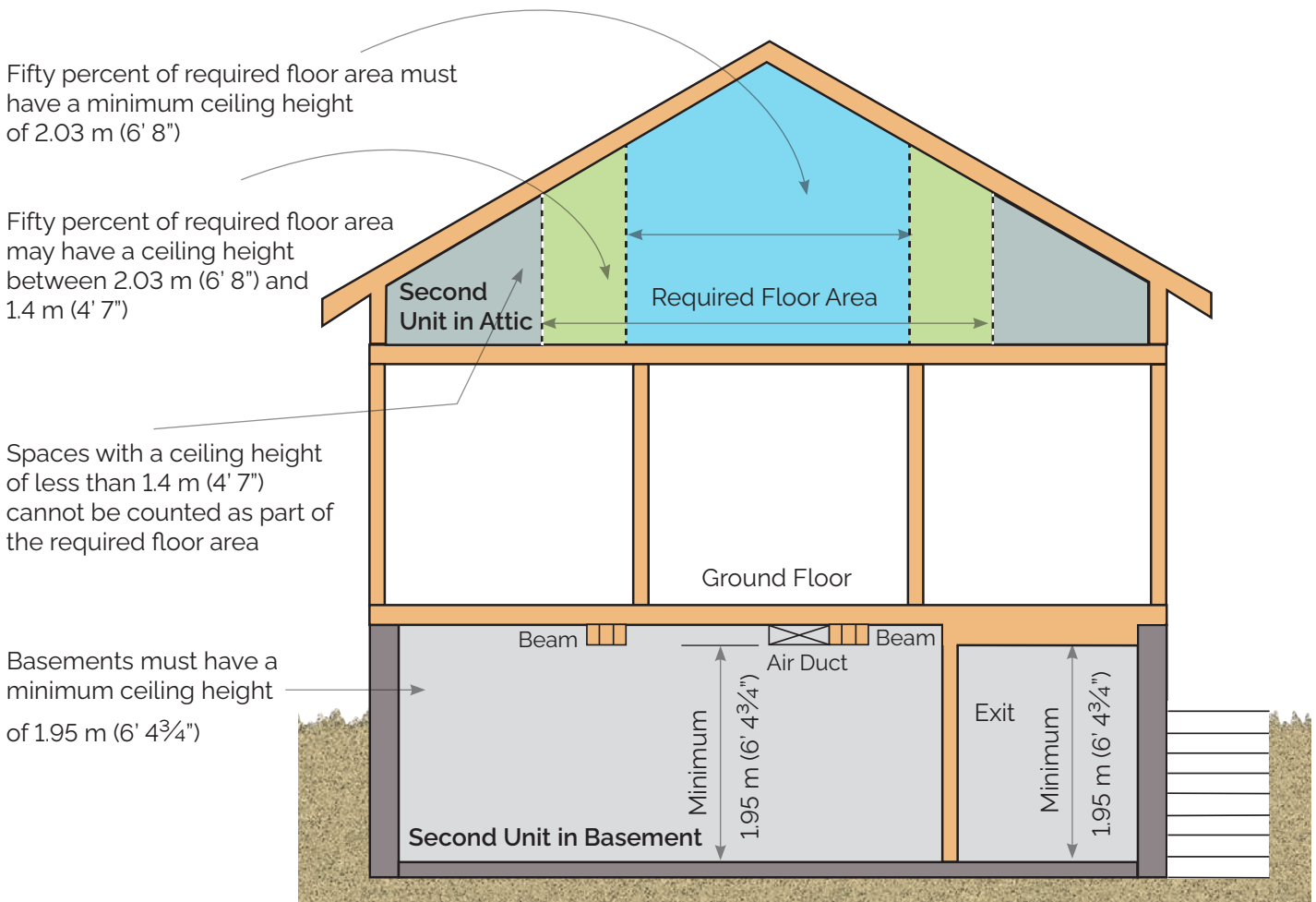
#### Room Sizes and Floor Areas

## Ceiling Heights

You are also required to have minimum ceiling heights in your rooms. Meeting the ceiling height requirements can sometimes be a challenge in an existing house. Choose the location of your second unit carefully. Ceiling height requirements for second units vary in different parts of your house such as in basements and attics.

- A basement second unit is permitted to have a ceiling height of 1.95 m (6' 4 $\frac{3}{4}$ ") over the entire required floor area, including the route inside the unit leading to the exit.
- An attic second unit – which may have sloped ceilings – would meet the Building Code if at least 50% of the required floor area has a ceiling height of 2.03 m (6' 8"), but this does not include areas with low ceilings less than 1.4 m (4' 7") high.

(Relevant Building Code provisions – Division B, Table 11.5.1.1.C., Compliance Alternative 102)



Second Unit Ceiling Height

## Windows

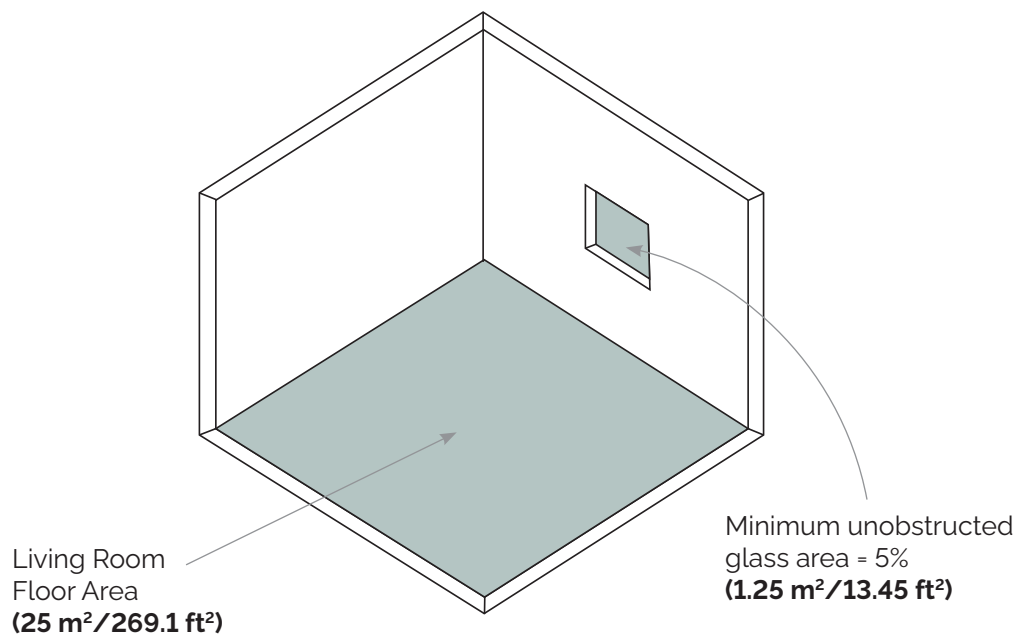
Windows are required in a second unit. The size of windows you need is determined by the size of the unit. Larger units will require more or bigger windows. Window sizes are also based on what type of room they are in. Some windows can also be used as another way to exit a second unit. For more information, please see the section on “Exits” on page 15.

Where the window is not being used as an exit, minimum window sizes are:

| Room/Space:                     | Minimum Required Window Area: |
|---------------------------------|-------------------------------|
| Living and dining rooms         | 5% of the floor area          |
| Bedrooms                        | 2.5% of the floor area        |
| Laundry room, kitchen, bathroom | Windows not required          |

(Relevant Building Code provisions – Division B, Article 9.7.2.3. as modified by Table 11.5.1.1.C., Compliance Alternative 107)

For example, if you are planning to have a dining area of 10 m<sup>2</sup> (108 ft<sup>2</sup>), the minimum size of the window(s) must be 0.5 m<sup>2</sup> (5'4"ft<sup>2</sup>). The diagram below shows another example:



Window Sizes and Floor Areas



## Plumbing

Your second unit will have to meet plumbing requirements. At minimum you will need:

- A hot and cold water supply
- A sink, bathtub or shower, toilet, or a drainless composting toilet in the bathroom
- A kitchen sink
- Access to laundry facilities, which may be provided in a shared laundry room or a separate laundry area in the second unit

You will need a qualified plumber to do this work.

(Relevant Building Code provisions – Division B, Articles 9.31.4.1. to 9.31.4.3.)

Second units must also have their own separate water shut-off valves. This allows plumbing work or repairs to be done in one unit without affecting water flow in the other.

(Relevant Building Code provisions – Division B, Sentences 7.6.1.4.(1) and 7.6.1.6.(1))

If your house is in an area that is subject to flooding or sewer backup, you may need to install a backwater valve when you add a second unit. Backwater valves help prevent sewage in municipal drain pipes from entering floor drains and plumbing fixtures in the lower levels of your house.

(Relevant Building Code provisions – Division B, Article 7.4.6.4.)

## Septic Systems

Adding a second unit to a house served by a septic system is permitted as long as the septic system has the capacity to handle the increase in sewage.

**Check with your building department** to make sure your existing septic system is sized properly. If not, you will need to upgrade your septic system so that it can safely treat the extra sewage flow.

(Relevant Building Code provisions – Division B, Sentence 11.4.2.5.(4))

(Note: some municipalities rely on regional health units or conservation authorities to enforce the septic system requirements of the Building Code. Your **local building department will advise** you if that is the case.)

## Heating and Ventilation

The Building Code allows a house with a second unit to have a single furnace and common system of air ducts. For fire safety, you will have to install a special type of smoke detector in the main supply or return air ducts. When

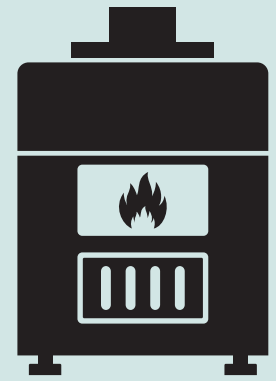
activated, this device turns off the fuel supply and electrical power to the furnace causing it to shut down and preventing the spread of smoke from one unit to the other.

Duct-type smoke detectors must meet a specific performance standard known as UL 268A. To ensure you have the right detector and the installation is done properly, you should hire a qualified contractor to do the work.

(Relevant Building Code provisions – Division B, Table 11.5.1.1.C., Compliance Alternative 195)

Ventilation is also required for the bathroom and kitchen of your second unit. This can be provided by a ceiling exhaust fan or a window that opens to outside.

(Relevant Building Code provisions – Division B, Article 9.32.1.2. as modified by Table 11.5.1.1.C., Compliance Alternative 194)



## Going Beyond Code:

**While the Building Code allows one furnace to heat an entire house including the second unit, you might want to consider installing a second furnace and air ducts when adding a second unit. Sharing one furnace and air ducts between two units may mean cooking smells, recreational smoke and other odours, as well as noise, may transfer from one unit to the other. Having one thermostat controlling the temperature of both units may also become an issue for residents of both units.**

## Electrical Facilities and Lighting



To ensure adequate lighting in rooms and spaces, the Building Code requires that your second unit must have:

- A light and switch in every room and space of your second unit
- A switch at both the top and bottom of the stairs

(Relevant Building Code provisions – Division B, Articles 9.34.2.2. and 9.34.2.3.)

The Electrical Safety Code, produced by Ontario's Electrical Safety Authority (ESA), has further requirements when adding a second unit.

- You will need to get a separate electrical permit to do the electrical work in your second unit.
- The ESA will inspect the electrical work in your second unit.

It is recommended that you hire a licensed electrical contractor to do the work.

They can also get the electrical permit and arrange inspections for you.

- For further information you can contact ESA directly at 1-877-ESA-SAFE (372-7233) or [esasafe.com](http://esasafe.com).

## Fire Safety

For fire safety you will need a fire separation between your second unit and the rest of the house. A fire separation acts as a physical barrier to slow the spread of fire from one part of the house to the other. The fire separation must be continuous and include protected openings if necessary (e.g. fire dampers) in order to work properly.

### What is a fire separation?

A fire separation can be a floor, wall, door with a self-closing device, or a combination of those things. It can be built using typical building materials such as lumber and drywall. For example, a 30 minute fire separation can be built using 38 mm x 89 mm (2" x 4") wood studs, 13 mm (1/2") thick drywall on both sides, and fibre-type insulation between the studs. Lath and plaster construction typically found in older houses is an example of a 15 minute fire separation.

When adding a second unit, the Building Code requires a 30 minute fire separation between units, and also between units and common areas. If the renovation of your house to add a second unit requires the alteration of an existing floor or ceiling, you are required to make that a 30 minute fire separation (see floor/ceiling diagram). A fire separation can be reduced to 15 minutes if the entire house has interconnected smoke alarms.

(Relevant Building Code provisions – Division B, Table 11.5.1.1.C., Compliance Alternatives 147, 152 and 153)

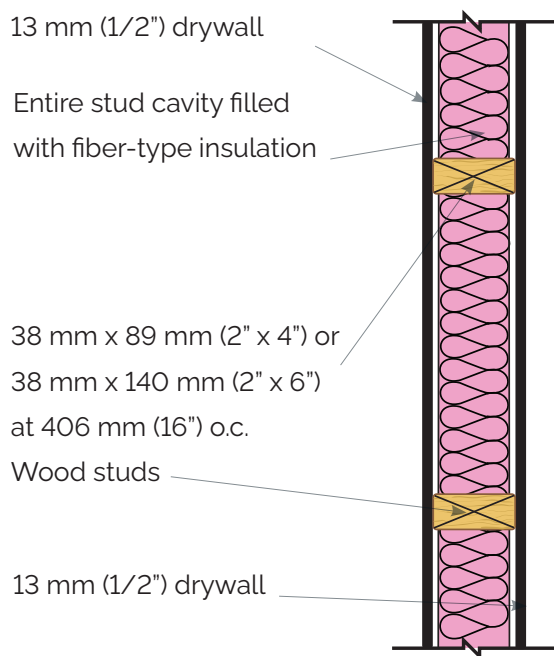


Diagram of wall showing typical 30 minute fire separation

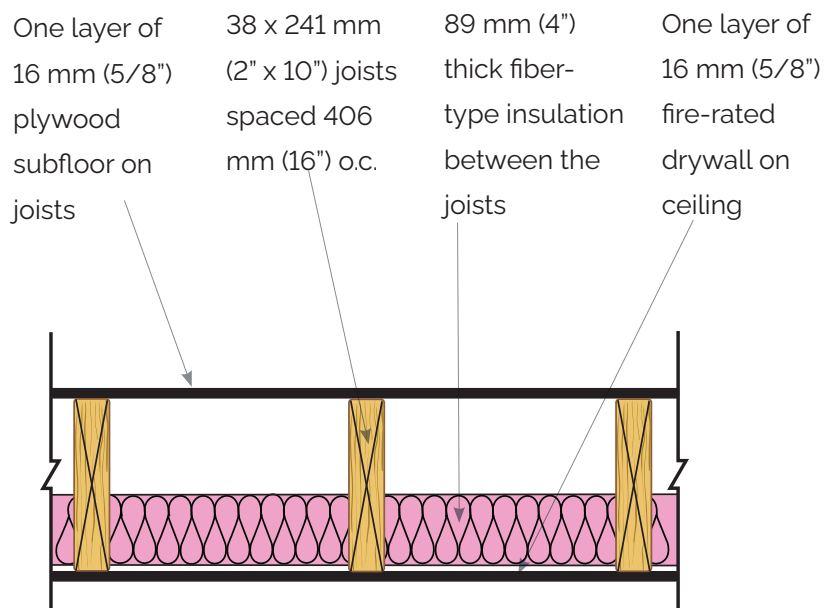


Diagram of typical floor/ceiling that would generally achieve a 30 minute fire separation

**Good-to-Know:** A wall built to meet the Building Code's fire separation requirements will help to reduce noise between units.

## Going Beyond Code:

Noise and vibration travelling between units is a common problem for people that live in multi-unit residential buildings, including houses with second units. It is a good idea to build extra noise protection in the walls, floors and ceilings that divide your second unit from the remainder of the house. There are many different ways to construct a wall so that it has greater noise protection, including additional insulation, extra layers of drywall, etc.



## Going Beyond Code:

**To enhance the fire safety of your second unit you should consider installing smoke alarms in storage rooms and service areas that are interconnected with the smoke alarms in the second unit. Fires that start in remote areas of a house can often be the most deadly as they can burn for longer periods before being detected.**

## Smoke Alarms

You will need smoke alarms (sometimes known as smoke detectors) in your second unit that must meet the CAN/ULC S531 performance standard. A label on the alarm will indicate whether it meets this standard. Your smoke alarms must also have a flashing light when they are activated. Smoke alarms are widely available at hardware and home renovation stores.

Proper placement of smoke alarms is important. They must be located:

- On every level of a house
- Outside sleeping areas (which, depending on the layout of a floor, can also count as the smoke alarm for that level)
- In each bedroom in the second unit
- In common areas of the house shared by occupants of both units, such as entrances and laundry rooms

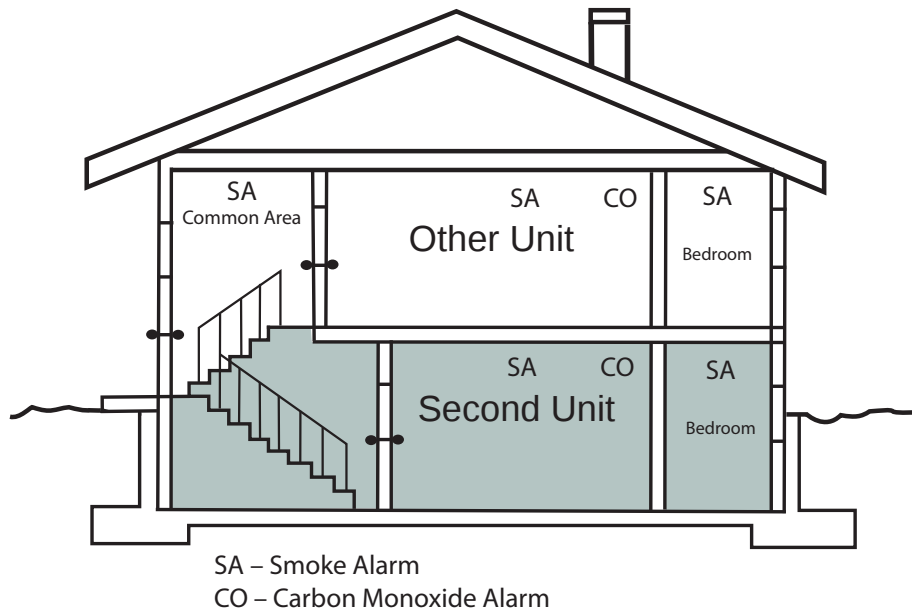
(Relevant Building Code provisions – Division B, Subsection 9.10.19.)

## Carbon Monoxide Alarms

In addition to smoke alarms you may also have to install carbon monoxide alarms. They are required if your house has a furnace that uses natural gas, propane or other similar fuels. They are also required if your house has an attached garage. Carbon monoxide alarms can be either electrically powered or battery operated and must be located:

- Near bedrooms and sleeping areas in the second unit
- In the furnace room, if the furnace room is a separate space from the residential units

(Relevant Building Code provisions – Division B, Articles 9.33.4.1. and 9.33.4.2. as modified by Table 11.5.1.1.C., Compliance Alternative 197)



Location of Smoke Alarms and CO Detectors

## Exits

Your second unit needs safe exits. There are different rules for exits depending on where in your house the second unit is located. Providing a separate exit for the second unit is preferable. If that is not possible:

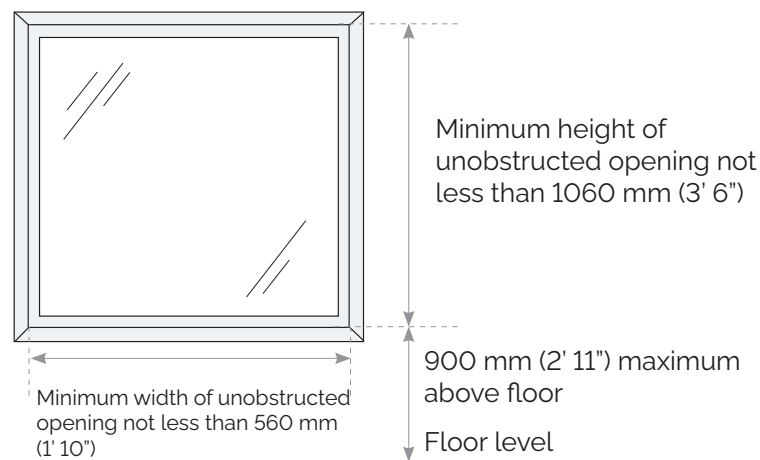
- A common exit for both units in your house is allowed if the exit area has a 30 minute fire separation and contains smoke alarms that are interconnected to both units.



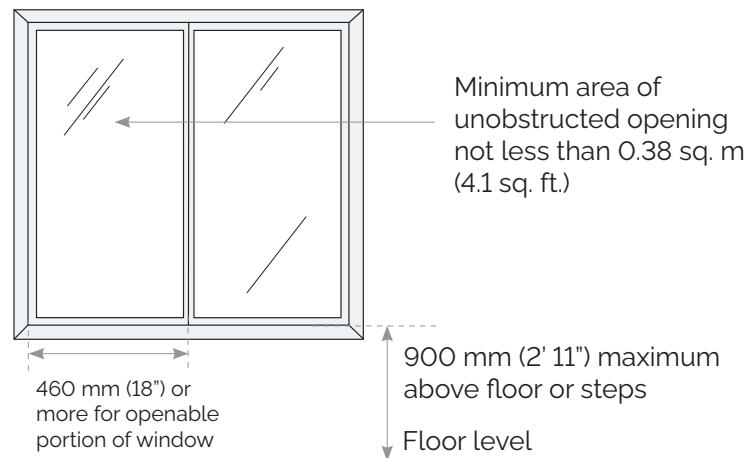
- In cases where the exit from one unit leads through another unit, a second means of escape must be provided by using a window.
- Windows that may be needed in an emergency as a second means of escape must be large enough for a person to get through and be easy to open without the use of tools.

- There are different requirements (shown in the diagrams below) for means of escape windows depending on whether they are located in the basement or upper floors.

(Relevant Building Code provisions – Division B, Table 11.5.1.1.C., Compliance Alternative 136)

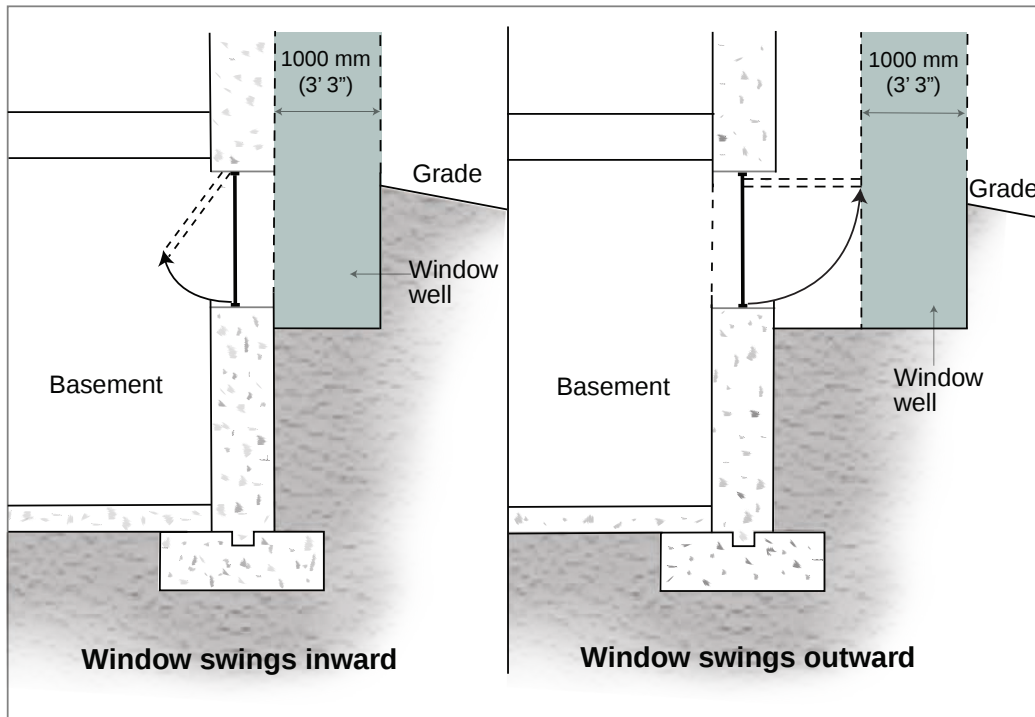


Escape window for upper floors



Note: Sill height no more than 1000 mm (3' 3") above or below adjacent ground level.

Ground floor or basement escape window



Window wells for basement escape windows (sectional view)

## Moving Forward with Your Project

Now that you know the basics for adding a second unit to your house, this can help you make an informed decision on whether to proceed.

As mentioned, and for best results, it is highly recommended you contact your local municipality early in your planning and design process, and also hire qualified professionals to help you.

To find your municipality's website, check out: [ontario.ca/page/list-ontario-municipalities](https://ontario.ca/page/list-ontario-municipalities) There, you can find a contact number for your local building department. You can also **find further information online or at your local building department.**

To read Ontario's Building Code check out: [ontario.ca/laws/regulation/120332](https://ontario.ca/laws/regulation/120332)

You can check the qualifications of a provincially registered Building Code designer at:

[quarts.mah.gov.on.ca/BCINSearchWeb/search.html](https://quarts.mah.gov.on.ca/BCINSearchWeb/search.html)

**To find out more about second units, visit:**

- The Landlord Self Help Centre website [landlordselfhelp.com](https://landlordselfhelp.com)
- The Canada Mortgage and Housing Corporation – Secondary Suites [cmhc-schl.gc.ca/en/developing-and-renovating/accessible-adaptable-housing/secondary-suites](https://cmhc-schl.gc.ca/en/developing-and-renovating/accessible-adaptable-housing/secondary-suites)

# Second Unit Checklist

Here is a checklist summarizing the important things to consider when adding a second unit to your house:

- ☐ **Municipal Zoning and Other By-Laws**

- ☐ Official Plan Policies
- ☐ Licencing and/or Registration, if applicable
- ☐ Parking, if applicable

- ☐ **Building Permit**

- ☐ **Inspections**

- ☐ **Building Code Requirements for Second Units**

- ☐ Age of your House
- ☐ Location of Your Second Unit
- ☐ Room Size and Floor Area
- ☐ Ceiling Heights
- ☐ Windows
- ☐ Plumbing
- ☐ Heating and Ventilation
- ☐ Electrical Facilities and Lighting
- ☐ Fire Safety
- ☐ Smoke Alarms
- ☐ Carbon Monoxide (CO) Alarms
- ☐ Exits



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